

**General Notes Outline**

- All contractors to visit job site and become familiar with the existing conditions before submitting bids and/or proceeding with any work.
- Proof certificates for all necessary insurance shall be filed with the Home Owner/Landlord/Tenant to indemnify and hold harmless the Owner, Architect, Designer and agents there-of from damages and losses resulting from contractor's execution of work.
- All work shall conform to applicable requirements from latest editions of Federal, State and Local building codes, ordinances, OSHA, and all other adopted codes, amendments and regulations from governing authorities having jurisdiction over the project site.
- Install all manufactured items, materials and equipment in strict accordance with manufacturer's recommendations - except when more stringent specifications herein are to be complied with.
- In no case shall dimensions be scaled from drawings. Contractor shall verify all conditions and dimensions in the field before proceeding with subsequent work. The Designer/Project Manager shall be notified of any discrepancies for clarification prior to proceeding with work in question.
- All dimensions used are to face-of-stud on exterior walls, and to center-of-stud on interior walls, unless noted otherwise. Finished floor elevations are to top-of-slab and top-of-sheathing unless noted otherwise. Ceiling heights are finished-surface to finished-surface unless noted otherwise. Dimensions marked "HOLD" indicate critical dimensions that must be maintained. All discrepancies must be reported to the Designer/Project Manager before construction in affected areas begins. Dimensions marked "CLR." indicate a minimum clearance that must be maintained.
- General Contractor shall be responsible for checking Architectural Drawings "before" proceeding with the installation of any mechanical, plumbing or electrical work. Any discrepancy between the Architect's and Consulting Engineer's drawings and specifications shall be brought to the attention of the Architect/Designer for clarification prior to installation of said work. Any work installed in conflict with the Architectural Drawings shall be corrected by the Contractor at his expense, and at no additional cost to the Owner or Architect.
- All symbols and abbreviations used on the drawings are considered to be construction standards. Any questions regarding symbols and abbreviations, or their exact meaning, shall be immediately brought to the Architect/Designer's attention for clarification.
- Details marked "typical" shall apply in all cases unless specifically indicated otherwise. Details marked "similar" may be mirrored or rotated conditions requiring minor modifications, as needed.
- No substitutions will be allowed without prior written approval. Specified materials followed by an "or equal" note on these drawings will also require written approval prior to substitution.
- All rubbish and debris resulting from demolition and/or new work shall be disposed of "off-site" and shall not be allowed to accumulate.
- All framing members shall be so arranged and spaced as to permit installation of pipe conduits and ductwork with a minimum of cutting. Contractor shall provide and install all pipe stiffeners, braces, back-up plates and supporting brackets as required for the installation of wall-mounted or suspended mechanical, electrical and miscellaneous equipment.
- All finished wall surfaces shall be flush and plumb with no exposed or rough edges throughout. For typical wall corner treatments see finish schedule and details.
- Exit signs required shall conform to all local building code requirements. Residential exit window specifications shall conform to all applicable code requirements, as noted on window schedule.
- Contact between dissimilar metals shall be protected. For specific methods or details not shown on these plans and specifications, notify Architect/Designer or Manufacturer for clarification.
- Electrical Contractor to verify existing electrical capacity prior to submitting bid, to furnish all the necessary drawings to the Building Department, to pay for all necessary incoming service fees, and to pay for any additional/related fees necessary to complete the required electrical hook-up. All electrical work shall conform with Fire Underwriter's Codes and all local codes in jurisdiction.
- Mechanical Contractor to verify required HVAC capacity prior to submitting bid, to furnish all the necessary drawings to the Building Department, to pay for all necessary HVAC installation fees, and to pay for any additional/related fees necessary to install the required mechanical systems. All mechanical work shall conform with current HVAC Codes and all local codes in jurisdiction.
- Plumbing Contractor to verify required sewer capacity prior to submitting bid, to furnish all the necessary drawings to the Building Department, to pay for all necessary sewer connection fees, and to pay for any additional/related fees necessary to install all plumbing and drainage systems. All plumbing work shall conform with current Plumbing Codes and all local codes in jurisdiction.
- Landscape Contractor to verify existing site conditions prior to submitting bid, to furnish all the necessary drawings to the Building Department, to pay for all necessary irrigation system fees, and to pay for any additional/related costs needed to complete the planting and irrigation design. All landscape work shall conform with current applicable codes and all local codes in jurisdiction.
- Measurement and Payment: Work shall not proceed by Architect/Designer, General Contractor, or job Sub-Contractor, where said party expects additional compensation beyond the written contract without written authorization from the Owner. Failure to obtain such authorization shall invalidate any claim for additional compensation.
- Confirmations: Confirmations of delivery dates on Orders of Materials and Equipment for all the "long lead-time items" shall be submitted to the Owner and the Architect/Designer for approval.
- Shop Drawings: All the shop drawings, material samples and product literature required shall be submitted to the Architect/Designer and to the Owner's Project Manager for approval.
- Submittals: All submittals from the General Contractor or job Sub-Contractors must be approved by the Architect/Designer and the Owner's Project Manager prior to installation.
- Punchlist: At project completion, an initial punchlist will be drafted by the Architect/Designer and the Owner's Project Manager. Upon completion of the Site Review, the punchlist will be finalized and submitted to all parties, indicating items not in accordance with the Construction Documents. Following completion of all punchlist items, the Contractor shall notify the Architect/Designer and the Owner's Project Manager to verify that all items on the punchlist have been completed. All parties will then approve and execute a formal acceptance of the completed punchlist.
- Certificates: The "Certificate of Occupancy" shall be obtained prior to the Owner/Tenant move-in date and presented to the Owner, the Architect/Designer and the Owner's Project Manager at the same time as the initial punchlist is generated.
- Owner/Tenant Move-in: Actual move-in will take place over a weekend or weeknight as approved by the Owner. The Contractor shall coordinate and make certain that all house-keeping clean-up items are completed by 8:00 a.m. on the day scheduled to be the Owner/Tenant move-in date.
- A separate permit will be required for plumbing, mechanical, and electrical work as applicable. A separate permit shall be obtained for installation of automatic fire sprinkler system from Inspection Services Division. A separate permit will be required for retaining walls and fences and shall be obtained from Inspection Services Division prior to installation.

**Site Plan General Notes**

Construction Requirements

- STORM WATER RUNOFF SHALL NOT DISCHARGE FROM THE CONSTRUCTION SITE TO THE CITY STREETS OR MUNICIPAL STORM DRAIN SYSTEM WITHOUT TREATMENT BY A SUITABLE POLLUTION CONTROL DEVICE. STORM WATER RUNOFF DISCHARGES WITHOUT TREATMENT ARE A VIOLATION OF THE CITY'S STORM WATER ORDINANCE. DISCHARGING ANY MATERIAL OTHER THAN UNCONTAMINATED STORM WATER RUNOFF TO CITY STREETS OR TO THE MUNICIPAL STORM DRAIN SYSTEM IS PROHIBITED AND IS A VIOLATION OF THE MUNICIPAL CODE.
- RECONSTRUCT ANY DAMAGED OR DEFACED CONCRETE CURB, GUTTER, AND/OR DRIVEWAYS PER CITY STANDARDS. ENCROACHMENT PERMIT REQUIRED.
- PROVIDE DRAINAGE PATTERN AS SHOWN ON SITE PLAN. (REFER TO BOTH EXISTING AND PROPOSED ELEVATIONS.) RUNOFF SHALL BE DIRECTED TO STREET, OR TO AN APPROVED DRAINAGE DEVICE, AND SHALL NOT BLOCK AN EXISTING DRAINAGE COURSE.
- ALL PROPOSED SITE WORK SHALL BE PER CITY OF SANTA PAULA STANDARDS. ENCROACHMENT PERMIT REQUIRED. THE FOLLOWING STANDARDS SHALL BE USED, WHERE APPLICABLE, AND AS SHOWN ON PLANS:
  - STD. NO. 102 - NEW SIDEWALKS
  - STD. NO. 104 - COMMERCIAL & RESIDENTIAL DRIVEWAYS
  - STD. NO. 107 - CURB & GUTTER DETAILS
  - STD. NO. 310 - SIDEWALK DRAINS
- PRIOR TO THE CONTRACTOR REQUESTING THE FOUNDATION INSPECTION, A PROPERLY LICENSED SURVEYOR OR ENGINEER SHALL ESTABLISH THE PROPERTY LINES AND LOCATION OF THE BUILDING ON THE PROPERTY, SUCH THAT THE REQUIRED SETBACKS MAY BE VERIFIED BY SIMPLY TAKING MEASUREMENTS FROM ALL THE PROPOSED BUILDING CORNERS TO THE PROPERTY LINES. THE SURVEYOR IS REQUIRED TO INFORM THE CITY IN WRITING OF HIS/HER COMPLETION OF THE WORK PRIOR TO THE FOUNDATION.
- FOR ALL PORTIONS OF NEW CONSTRUCTION IN HILLSIDE AREAS (IF APPLICABLE), WHERE IT IS NOT OBVIOUS THAT THE STRUCTURE UNDER CONSTRUCTION COMPLIES WITH THE HEIGHT SHOWN ON THE APPROVED PLANS, A HEIGHT SURVEY SHALL BE PROVIDED. THE LICENSED SURVEYOR OR ENGINEER SHALL PROVIDE A WRITTEN VERIFICATION (A ROOF PLAN WITH REFERENCE ELEVATIONS) SHOWING COMPLIANCE. THIS SHALL BE FILED WITH AND APPROVED BY THE INSPECTOR PRIOR TO SIGNING OFF ROOF NAILING INSPECTION. THE HEIGHT TO THE FINISHED ROOFING MAY BE VERIFIED AT THAT TIME, UNLESS THE FINISHED ROOFING THICKNESS AND RIDGE CAP HEIGHTS CAN'T BE DETERMINED PRIOR TO INSTALLATION.

**Hillside and Brush Area Notes**

Section 310.14.13 is added to the CBC to read as follows:

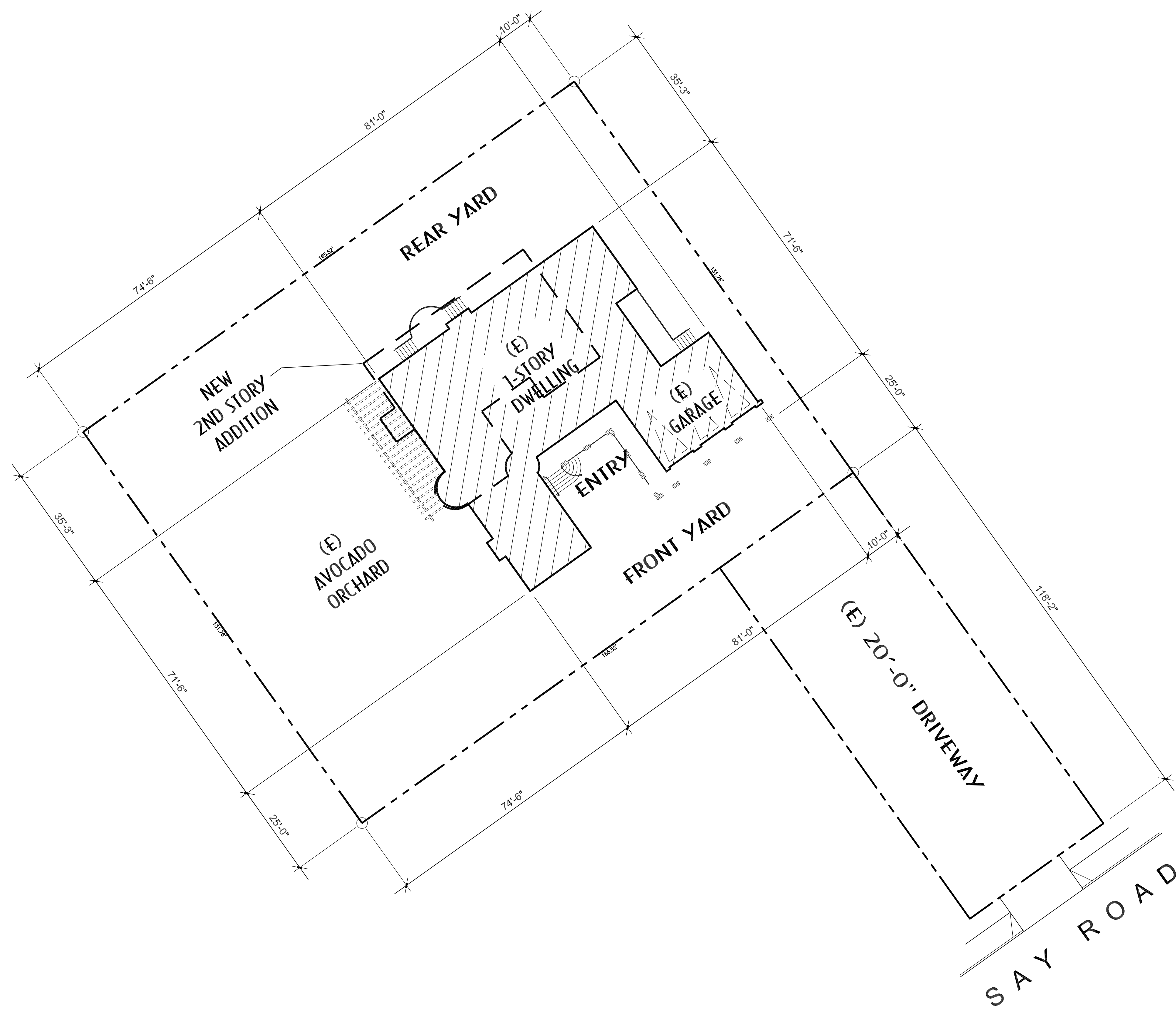
Sec. 310.14.13. Fire District, Hillside Brush Area Established. For the purposes of this code, a portion of the incorporated area of the city, as it now exists or as subsequently changed, is declared to be and is established as the Hillside Brush Area. The present boundaries and location of this area are set forth in the book of maps entitled "Fire Zone Map of the City of San Buenaventura."

- The Hillside Brush Area consists of those areas of the city which, because of their proximity to vegetation are judged and determined by the Fire Chief to be a potential fire and, due to their density and condition, constitute a special area necessitating special fire resistive building requirements in order to adequately protect life and property.
- Hillside Brush Area Boundaries. Since the density, condition, and boundaries of vegetation that is highly susceptible to fire are subject to change, the fire chief may, from time to time, recommend changes to the official fire zone map with respect to the boundaries of the Hillside Brush Area in order to reflect the current condition and extent of such vegetation.
- Territory Annexed To The City--Fire Zone Designation. Territory subsequently annexed to the city will be reviewed by the Fire Chief and the Fire Chief's recommendation respecting alteration to the boundaries of the Hillside Brush Area will be provided to the building official. The building official is authorized to change the boundaries as necessary on the official fire zone map to include any such annexed territory that may be placed in the Hillside Brush Area.
- Moved Buildings. The owner of any building or structure moved within or into the Hillside Brush Area must bring said building or structure into compliance with all the requirements for new buildings in such areas.

CBC § 310.14.13.1 is added to read as follows:

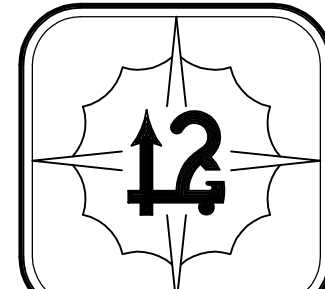
Sec. 310.14.13.1. Restrictions in the Hillside Brush Area. Any building or structure complying with the requirements of the California Building Code may be erected, constructed, moved within or moved into the Hillside Brush Area provided the following additional requirements are complied with:

- Exterior Walls. Requirements for the fire-resistive protection of exterior walls, as determined by location on property, shall be the same as required by § 503 of the CBC except exterior wall covering shall have a 1/2" minimum thick solid surface. No wooden shakes or shingles, treated or untreated, are permitted.
- Roof Covering. Roof coverings must be Class A or B as specified in § 1504, except that no wooden shakes or shingles, treated or untreated, are permitted.
- Horizontal Protection. Exterior portions of structures which have exposed combustible construction elements in the horizontal plane must be no less than the minimum nominal sizes as noted below, or must be protected on their undersides by materials providing fire resistance protection for at least one hour.
  - Rafters, balcony and deck support beams must be a minimum of 4" wide and 6" deep.
  - Patios, arbors and shade structures may be constructed of any materials allowed by this code.
  - Posts supporting elements noted in (1) must be a minimum of 4" x 4".
  - Structural support beams and posts supporting interior floor loads must be a minimum of 6" x 6".
  - Roof sheathing must meet heavy-timber construction requirements for roof decks.
  - Balcony and deck flooring must be a minimum of 2-inch thick material with spacing no greater than 1/4 inch.
- Exception: When elevation of flooring is less than thirty (30) inches above grade, the flooring must be 5/8-inch plywood or two-inch thick solid sheathing without spacing or have a 1/2 inch thick solid skirt enclosure.
- Fire Sprinklers. Automatic fire sprinkler systems may not be substituted for any of the fire resistive construction methods and materials noted in this Section.
- Ventilation Openings. Attic or foundation ventilation openings or ventilation louvers are not permitted in soffits, in eave overhangs, between rafters at eaves or in any other overhanging areas which may be directly exposed to fire in adjacent brush or grass areas.
- The fire protection requirements noted in this section may be modified by the fire chief when conditions warrant.



**Master Site Plan**

SCALE: 1/8" = 1'-0"



**Sunn~Starr Architectural**

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Contract	License No.	Engineer	License No.	Checker
Drawn By:	Luis C. Gutierrez		G.S.A.	
Project No.	Res 084201.00		A10-Site.dwg	Client File Name

**Cheryl Rifkin Residence Remodel**  
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 Site Plan / Roof Plan and Site Plan Notes

